

CC Electrical Consulting, LLC
5551 S. White Mountain Road,
#2-538
Show Low, AZ 85901
T 602.400.1792



Richard W. Huch LEED-AP
Senior Project Architect
SEAVER / FRANKS
ARCHITECTS, INC AIA
2552 North Alvernon Way
Tucson, Arizona, 85712
Ph: (520) 795-4000
Cell: (520) 237-1450
rickhuch@seaverfranks.com
www.seaverfranks.com

October 24, 2023

Project: GVR Del Sol Clubhouse Comments
Green Valley, AZ
Delta #1 Pre-Bid Comments
CC Job #23052

SHEET ELECTRICAL PLAN:

1. SHEET ES1.0 DEPICTS THE NEW ELECTRICAL SERVICE LOCATED ON THE NE CORNER OF THE BUILDING.
 - A. IS THERE A SPECIFIC REASON IT IS LOCATED THERE?
 - B. IF THE SERVICE IS LOCATED THERE, IT WILL BE VERY COSTLY TO REFEED PANELS A & B.
 - C. IN ORDER TO INTERCEPT AND REFEED PANELS A & B, UNDERGROUND CONDUITS WOULD NEED TO BE RUN FROM THE NEW SERVICE LOCATION ON THE NE CORNER OF THE BUILDING TO THE SE CORNER OF THE BUILDING.
 - D. THE EXISTING SERVICE ENTRANCE SECTION IS ON THE SE CORNER OF THE BUILDING.
 - E. IF WE BUILD THE NEW SERVICE ENTRANCE SECTION ADJACENT TO THE EXISTING ONE, WE COULD MINIMIZE THE FEEDER LENGTHS FOR PANELS A, B & C AND THE COST OF THE SAME.

RESPONSE:

- A: New SES location is in line of site of existing utility transformer. Demo'd SES is at a lower level in the southeast corner of the building and due to the increase in service amperage the new feeder from the existing transformer to the location of the existing SES would be very costly for underground installation due to

changes in terrain. A site visit would see the difficulty in keeping the existing location of the demo'd SES.



**EAST SIDE OF THE BUILDING (GROUND LEVEL)
LOOKING SOUTH (LOWER LEVEL). EXISTING
ROCKS INSTALLED FOR DRAINAGE. THE
EXISTING SES FEEDER IS BUIRED BELOW ROCKS.**

- B: New SES location is on the same level (Ground Level) to the existing Panels A and Panels B. The new feeders from the new SES to the existing two panels will require penetration through two concrete walls into the above ceilings in the kitchen area. This would allow for a top feed to the existing panel 'A' and 'B'.
- C: From the new SES location to existing Panels A and Panels B underground conduit could not be done. There is a lower level to the building. It is possible to intercept the existing feeder and conduct from the demo'd SES to the two existing Panels 'A' and 'B' from the ceiling of the lower level.
- D: Yes, it is the lower level with an entrance into the space from the west. The lower level once was a golf cart storage area.



EXISTING UTILITY METER AND FUSED DISCONNECT



EXISTING PANEL 'C' TO BE DEMO'D AND REPLACED WITH NEW

E. I do not believe that the new feeder from the existing utility transformer to the location of the demo's SES is a costly option due to elevation and terrain.

RESPONSE: Yes, but the new feeder will be difficult to install. See first photo and do a site visit to see the difficulty to this question.

2. **THE EXISTING ELECTRICAL SERVICE IS ON THE LOWER LEVEL IN ROOM 106 ON THE EAST WALL. CAN THE NEW CT AND CT METER SOCKET BE PLACED ON THE EXTERIOR WHERE PANEL C IS SHOWN ON SHEET E2.1? ADDITIONALLY, CAN THE GUTTER AND SERVICE DISCONNECT BE PLACED IN THE SE CORNER OF THE LOWER-LEVEL BILLIARDS ROOM 100?**

RESPONSE: The elevation change, and terrain would make it very difficult to locate anything on the exterior wall side of the demo'd SES location.

- 3. WILL THIS BUILDING BE COMPLETELY SHUT DOWN DURING CONSTRUCTION? SINCE WE ARE REWORKING THE ENTIRE ELECTRICAL SERVICE, THIS WILL HAVE TO HAPPEN AT SOME POINT.**

RESPONSE: Yes.

- 4. SHEET ES1.0, SITE PLAN GENERAL NOTES 3 & 4 REFERENCE TELEPHONE SERVICE. PLEASE CONFIRM THESE NOTES ARE NOT APPLICABLE TO THIS PROJECT.**

RESPONSE: That is a generic note. Note numbers 3 and 4 do not pertain to this scope of work.

Sincerely yours,

Jeff Clark

Jeff Clark
Project Manager



Del Sol Clubhouse RFIs

10-25-2023

KC project No.: 23-243

5. Detail 4/M4.0 for the Condenser Platform depicts plywood with a sheet metal cover. Should these platforms be concrete?

Yes! The detail was for condensing units on the roof. Now that the condensing units are on grade, they should be on concrete platforms. Detail 4/M4.0 has been updated to show concrete pad.

6. Current routing of ductwork within the Mechanical Room 107 appears to be in conflict with existing sprinkler piping. Should the sprinkler piping be relocated or the Mechanical Room enlarged?

Rerouting sprinkler piping would be preferred.

7. Please confirm that all ductwork will be routed beneath existing fire suppression piping in Billiard's Room 100.

Yes, all ductwork can be routed beneath existing fire suppression.

Ruby O'Brien-Metzger

KC Mechanical Engineering

SEAVER FRANKS

ARCHITECTS INC AIA

2552 N. Alvernon Way/Tucson, AZ 85712/(520) 795-4000/FAX (520) 795-9431

ADDENDUM 01

Date: October 26, 2023

Project: Green Valley Recreation Center – Del Sol Clubhouse – Tenant Improvement

THE FOLLOWING CLARIFICATIONS AND/OR MODIFICATIONS SHALL BE INCORPORATED INTO THE CONTRACT DOCUMENTS FOR THE ABOVE REFERENCED PROJECT; ALL OTHER REQUIREMENTS SHALL REMAIN UNCHANGED.

Demolition

8. Sheet D2.0 Demolition Plan does not show asphalt trenching & patch-bac for the new light pole bases/standards, should this be included within the bid proposal? *Include all necessary asphalt trenching & patch-back for the new light pole bases/standards in the bid proposal.*
9. Sheet D2.0 Demolition Plan depicts only the existing soffit demo'ed in the Poker Room 211, however, the reflected ceiling plan Sheet A3.0 depicts the entire ceiling as new. Should the entire ceiling be demo'ed? *In poker room, only the soffit will be removed and replaced. Do not figure complete demo and replace of drywall ceiling in the space.*

Framing/Drywall

10. Please confirm that the ceiling in Billiards Room 100 and Closet 106 are both existing gypsum board to remain with new paint. There are conflicting notes on Sheet A3.1 – Reflected Ceiling Plan, Lower Level. *Existing to remain with new paint.*
11. Please confirm that the ceiling in Restrooms 101 & 102 are both new gypsum board with new paint. *New gypsum with new paint.*

Fire Alarm

12. Can more information be provided regarding the existing fire alarm system & equipment, and required new fire alarm/integration? *There is no existing fire alarm system and any future system shall be completed at a different time, not under this scope of work.*

Sitework

13. Will the Client contracted landscaping contractor provide irrigation sleeving if required under new hardscape? *All landscaping/irrigation and sleeving will be provided by owner.*
14. Please provide plans/details for the retaining wall (denoted as “under separate permit).” *Please find attached new sheet S1.3 showing the retaining wall details.*

Schedule

15. Will Microsoft Project or Smartsheet be acceptable for the bid project schedule submission? *Yes.*

Bid Submission

16. The bid submission instructions require a sealed envelope with two (2) hardcopies and one (1) electronic copy. Is the electronic copy necessary? If so, what is an acceptable form of the electronic copy? *Electronic copy (PDF) on thumb drive.*

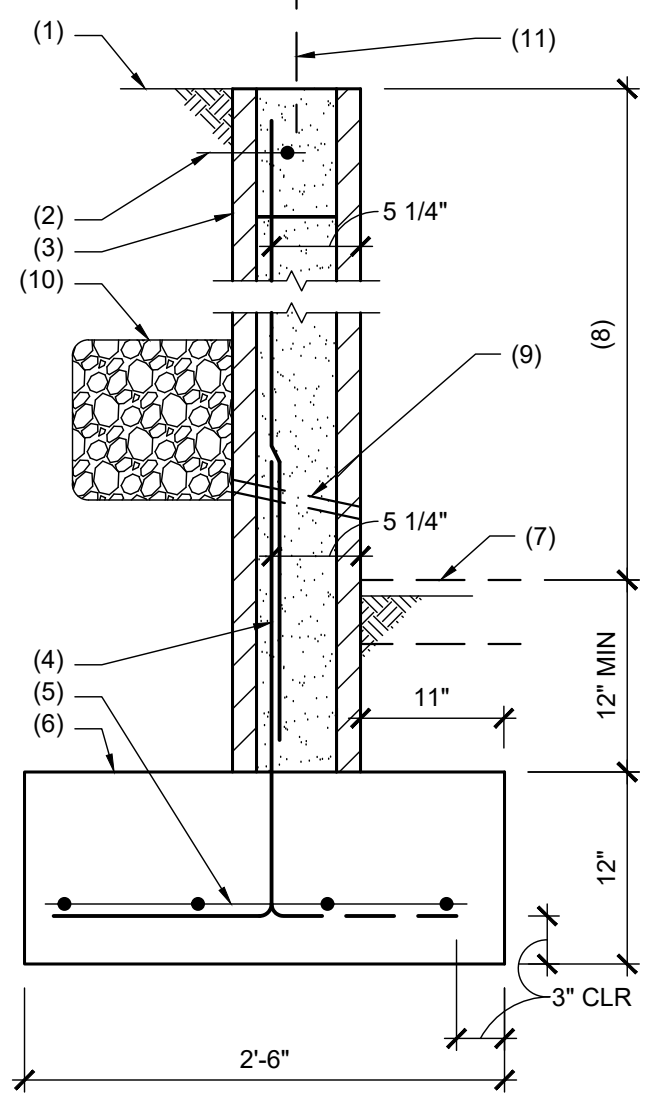
END OF ADDENDUM 01

NOTES:

1. FINISHED GRADE.
2. (1) #4 CONTINUOUS IN GROUTED BOND BEAM.
3. 8" MASONRY WALL WITH #5 VERTICALS AT 48" O.C. OFFSET IN WALL - GROUT SOLID BELOW GRADE.
4. DOWELS TO MATCH AND LAP VERTICAL WALL REINFORCING PER G.S.N. - ALTERNATE BENDS.
5. (4) #5 CONTINUOUS.
6. CONCRETE FOOTING.
7. FINISHED GRADE OR CONCRETE SLAB WHERE OCCURS.
8. 3'-0" MAXIMUM.
9. 3/4" DIA. WEEP HOLES AT 6'-0" O.C.
10. 1'-0" SQUARE GRAVEL ROCK POCKET WITH 40% VOIDS. BOTTOM OF POCKET SHALL BE 8" ABOVE LOWER FINISHED GRADE.
11. RAILING WHERE OCCURS PER ARCHITECTURAL DRAWINGS. MAX HEIGHT = 4'-0".

TYPICAL NOTES:

- STEP FOOTING PER TYPICAL DETAIL AS REQUIRED.
- PROVIDE MASONRY CONTROL JOINTS PER TYPICAL DETAIL AT 16'-0" O.C.
- SEE ARCH. AND/OR CIVIL DRAWINGS FOR LOCATION OF WALLS.



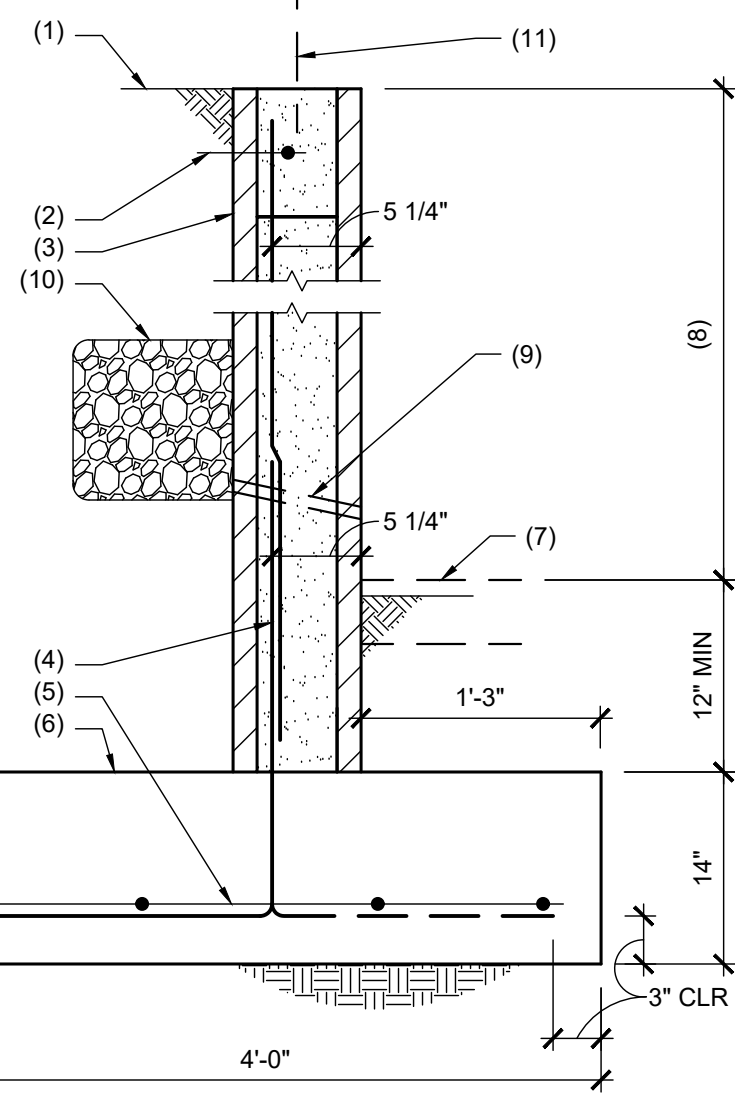
19 3'-0" MASONRY RETAINING WALL

NOTES:

1. FINISHED GRADE.
2. (1) #4 CONTINUOUS IN GROUTED BOND BEAM.
3. 8" MASONRY WALL WITH #5 VERTICALS AT 16" O.C. OFFSET IN WALL - GROUT SOLID BELOW GRADE.
4. DOWELS TO MATCH AND LAP VERTICAL WALL REINFORCING PER G.S.N. - ALTERNATE BENDS.
5. (4) #5 CONTINUOUS.
6. CONCRETE FOOTING.
7. FINISHED GRADE OR CONCRETE SLAB WHERE OCCURS.
8. 5'-0" MAXIMUM.
9. 3/4" DIA. WEEP HOLES AT 6'-0" O.C.
10. 1'-0" SQUARE GRAVEL ROCK POCKET WITH 40% VOIDS. BOTTOM OF POCKET SHALL BE 8" ABOVE LOWER FINISHED GRADE.
11. RAILING WHERE OCCURS PER ARCHITECTURAL DRAWINGS. MAX HEIGHT = 4'-0".

TYPICAL NOTES:

- STEP FOOTING PER TYPICAL DETAIL AS REQUIRED.
- PROVIDE MASONRY CONTROL JOINTS PER TYPICAL DETAIL AT 20'-0" O.C.
- SEE ARCH. AND/OR CIVIL DRAWINGS FOR LOCATION OF WALLS.



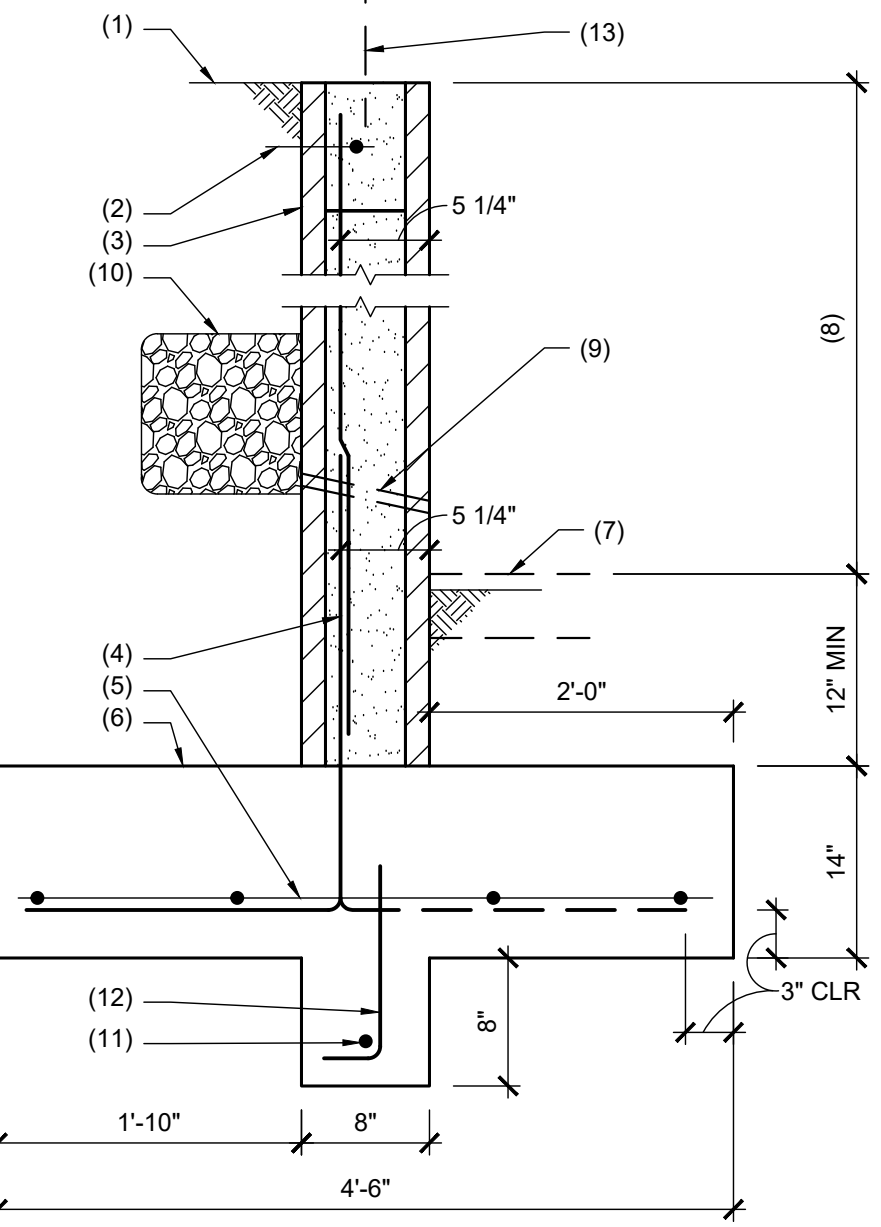
20 5'-0" MASONRY RETAINING WALL

NOTES:

1. FINISHED GRADE.
2. (1) #4 CONTINUOUS IN GROUTED BOND BEAM.
3. 8" MASONRY WALL WITH #5 VERTICALS AT 16" O.C. OFFSET IN WALL - GROUT SOLID BELOW GRADE.
4. DOWELS TO MATCH AND LAP VERTICAL WALL REINFORCING PER G.S.N. - ALTERNATE BENDS.
5. (4) #5 CONTINUOUS.
6. CONCRETE FOOTING.
7. FINISHED GRADE OR CONCRETE SLAB WHERE OCCURS.
8. 6'-0" MAXIMUM.
9. 3/4" DIA. WEEP HOLES AT 6'-0" O.C.
10. 1'-0" SQUARE GRAVEL ROCK POCKET WITH 40% VOIDS. BOTTOM OF POCKET SHALL BE 8" ABOVE LOWER FINISHED GRADE.
11. (1) #4 CONTINUOUS.
12. #4 VERTICAL AT 12" O.C.
13. RAILING WHERE OCCURS PER ARCHITECTURAL DRAWINGS. MAX HEIGHT = 4'-0".

TYPICAL NOTES:

- STEP FOOTING PER TYPICAL DETAIL AS REQUIRED.
- PROVIDE MASONRY CONTROL JOINTS PER TYPICAL DETAIL AT 20'-0" O.C.
- SEE ARCH. AND/OR CIVIL DRAWINGS FOR LOCATION OF WALLS.



21 6'-0" MASONRY RETAINING WALL



REVISIONS NO.	DATE
2	10/31/2023

**TENANT IMPROVEMENT
 RENOVATION FLOOR PLAN
 TYPICAL DETAILS**



**GVR DEL SOL CLUBHOUSE
 3355 S. CAMINO DEL SOL
 TUCSON, ARIZONA 85747**



Unsealed drawings shall be considered preliminary designs and shall not be used for construction or final bidding.
 These drawings are copyrighted by ennovative, LLC. Drawings shall not be reused or reproduced, whole or in part, without the written consent of ennovative, LLC. ©

ISSUE DATE 08/09/23
 PROJ. NO. 37096
 DRG. SCALE AS NOTED

SHEET

S1.3